

# SMALL-LOT SINGLE FAMILY DEVELOPMENT RESIDENTIAL DESIGN CRITERIA

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**Introduction.** The City's Zoning Code includes new options for single-family development that have not been available before. The "Small-Lot Subdivision" regulations (see Redding Municipal Code Section 18.31.050) provide more choices for meeting changing demands in the single-family residential market.

**Purpose.** These design criteria are intended as a reference to assist the project designer in understanding the City's goals and objectives for quality residential development. The criteria complement the mandatory property development regulations contained in the Zoning Ordinance.

**Applicability.** These criteria should be used in conjunction with approval of tentative subdivision maps for new small-lot single-family residential developments of 5 units or more. They should also be used with planned development proposals for single-family development.

It is important to understand the intent and limitations of the graphic illustrations contained in these criteria. The photographs and drawings are for illustrative purposes only. They are not intended to dictate design solutions, but simply to help the designer understand basic concepts and, where appropriate, suggest possible solutions. To accomplish this, certain illustrations may be purposely exaggerated or may include elements that are not consistent with other criteria as illustrated or described in the document.

# DESIGN CRITERIA—RESIDENTIAL

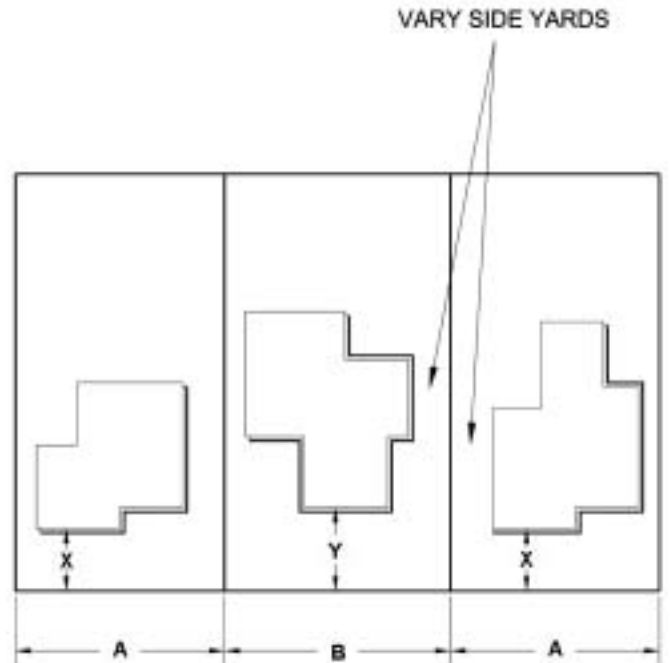
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### RESIDENTIAL DESIGN CRITERIA FOR SMALL-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT

1. **Site Planning.** An important design goal of residential site planning is to create variety along local streets. These criteria promote development where there is variation in building placement and the street scene.

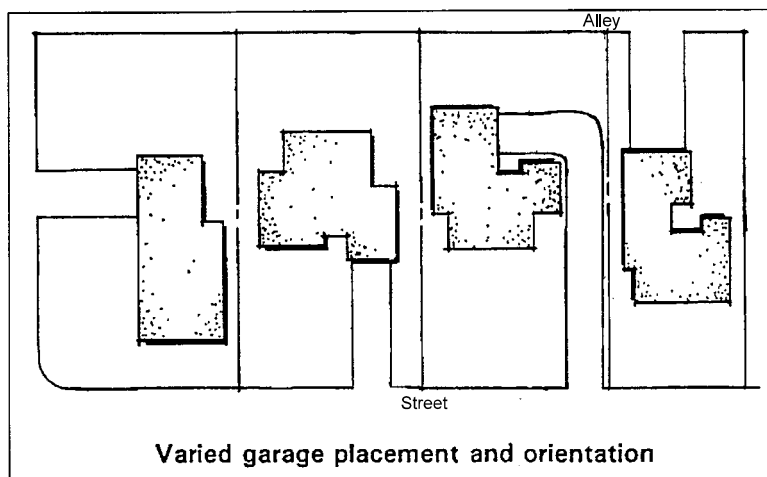
2. **Varied Setbacks.** Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view. Varying the distance between adjoining homes, or between homes and fences, results in different types of yards and private patio areas.

3. **Varied Lot Widths.** Making some lots wider and some narrower than the average can provide different amounts of open areas between structures. It also allows placement of different shapes and sizes of homes. On narrow lots, a variation of only 3 or 4 feet can make a perceptible difference.



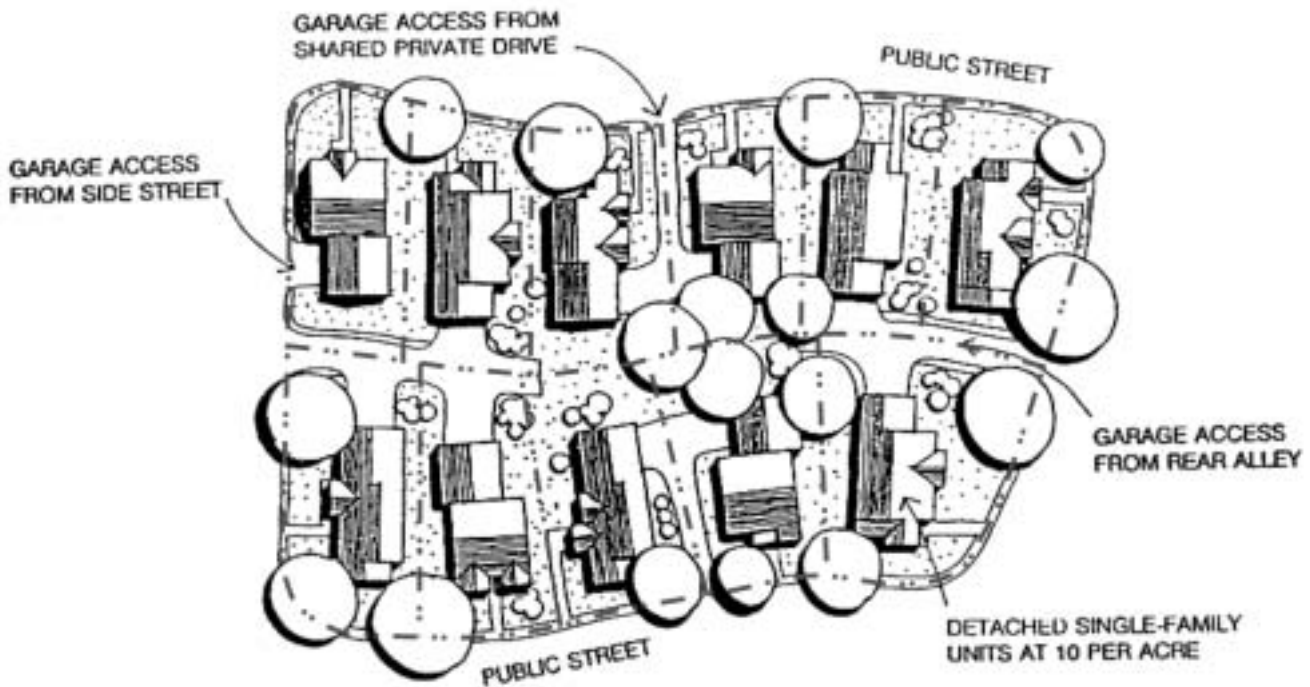
4. **Varied Garage Placement and Orientation.** Garages accessed by alleys or shared driveways or set back behind the front facade of the residence can dramatically improve the street scene.

Where appropriate to break up the monotony of long blocks of uniform lots, small-lot single-family subdivisions should include features such as varied yards and lot widths that provide variety in the streetscape appearance and a perception of open spaces between houses.



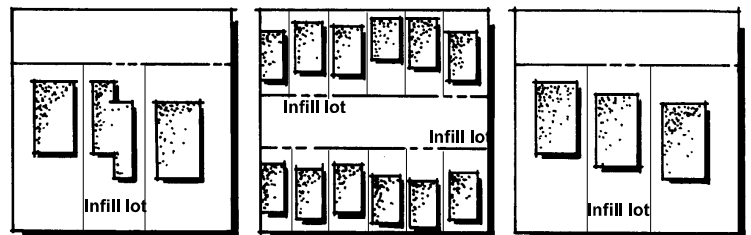
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5. **Infill in Existing Neighborhoods.** To the extent possible, new small-lot single-family developments of 5 units or more in existing neighborhoods should consider the existing housing units in the adjacent area as addressed below:

a. **Front Yard Setbacks.** Front-yard setbacks for new projects should consider the setbacks already established on parcels within the same block. Utilizing the average building setback within the block can often be an appropriate consideration.



Stepped setbacks to match adjacent buildings.

Average of setback on both sides of street.

Average of setbacks of adjacent buildings.

b. **Building Form, Scale, and Details.**

In general, new development should consider the form, scale, and where appropriate, details, of surrounding development. For example, utilizing similar: building mass and height; finished-floor height; type and location of doors, windows and porches; materials and decoration; roof style and pitch; and parking locations, will usually make the new development appear more compatible with the existing neighborhood. This is particularly important in neighborhoods dominated by pre-World War II architecture.

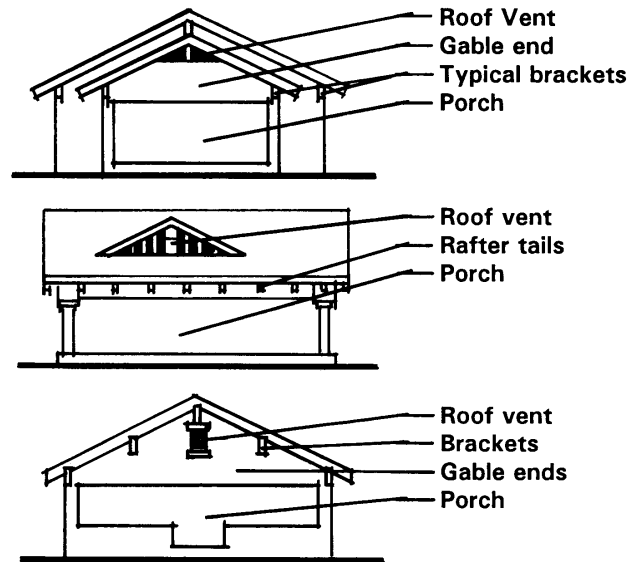
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- c. **Facade and Roof Articulation.** The articulation of facades and the massing of structures give them richness and scale. Long exterior walls should have "relief" to create an interesting blend with landscape, structures, and from the casting of shadows.

For sloped roofs, both vertical and horizontal articulation is encouraged. Roof articulation may be achieved by changes in plane such as the use of gables, hips, and dormers. Flat roofs and A-frame-type roofs should be used only when appropriate to the architectural style.



6. **Varied Structure Design.** Design of residences should be varied in larger small-lot subdivision developments to create variety and interest. A significant difference in the massing and composition (not just finish materials) within each block should be accomplished.
7. **Accessory Structures.** The appearance of accessory structures should be compatible with the main structure, particularly where visible from the street.
8. **Garage Doors.** Garage doors recessed into the walls are preferable to those flush with the exterior wall. The design of the garage door should relate to the particular architectural style selected for the home.
9. **Open-Space Areas.** Small-lot subdivision developments should be designed to provide views into open-space areas at strategic locations where appropriate. Safe and attractive pedestrian connections to public open space are desired. Providing access through narrow, fenced connections is not appropriate because it will create security problems for users and adjacent residences or businesses.